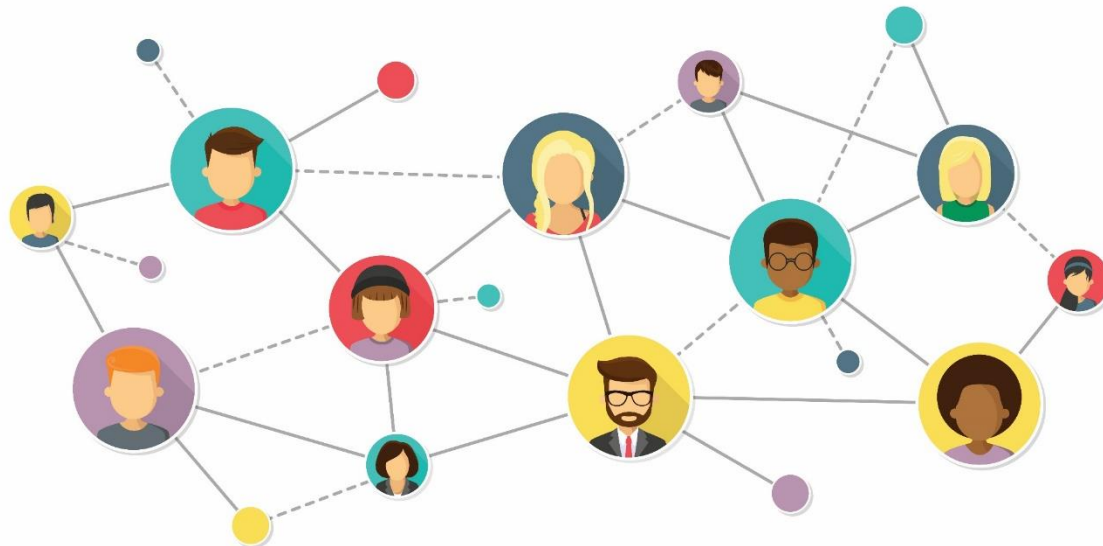


Welcome to the Council Community Connector!



Welcome



Thank you for joining us! Council is seeking to continue strengthening the relationship and links between Council, the owners of the Town, and the policy-making process.

Tonight the focus of this event is to provide an opportunity for you to chat with us about decisions and plans that affect our community.

We will present information on some key initiatives that will impact Okotoks' future and questions will be welcomed after each topic is presented. There will also be time for general questions at the end of the presentations.

Housekeeping Items



Just some housekeeping items before we begin.

Some questions have already been submitted and you can also type your questions in the Q and A section of the webinar where there is an option to remain anonymous. The moderator will share your questions with the Mayor and Council.

If your question doesn't get answered or we run out of time we will respond to you as soon as possible. Additional questions can be emailed to communications@okotoks.ca.

Tonight's topics for discussion include:

- **Community Building**
- **Regional Water Pipeline**
- **Calgary Metropolitan Region Board Regional Growth Plan**
- **Affordable Housing**

Community Building – What is it?

*“collective action directed towards the building of **community** among individuals with a common interest”*

Why is it Important?

- Resiliency
- Prosperity
- Happiness

What role do residents play?

- A consumer
- An owner

What role does Council play?

- Voice of owners
- Decision maker

What role does administration play?

- Advisor
- Implementer

Keys to success

- Shared Vision
- Respectful Dialogue
- Pride of Ownership
- Focus on Solutions
- Striving for Excellence

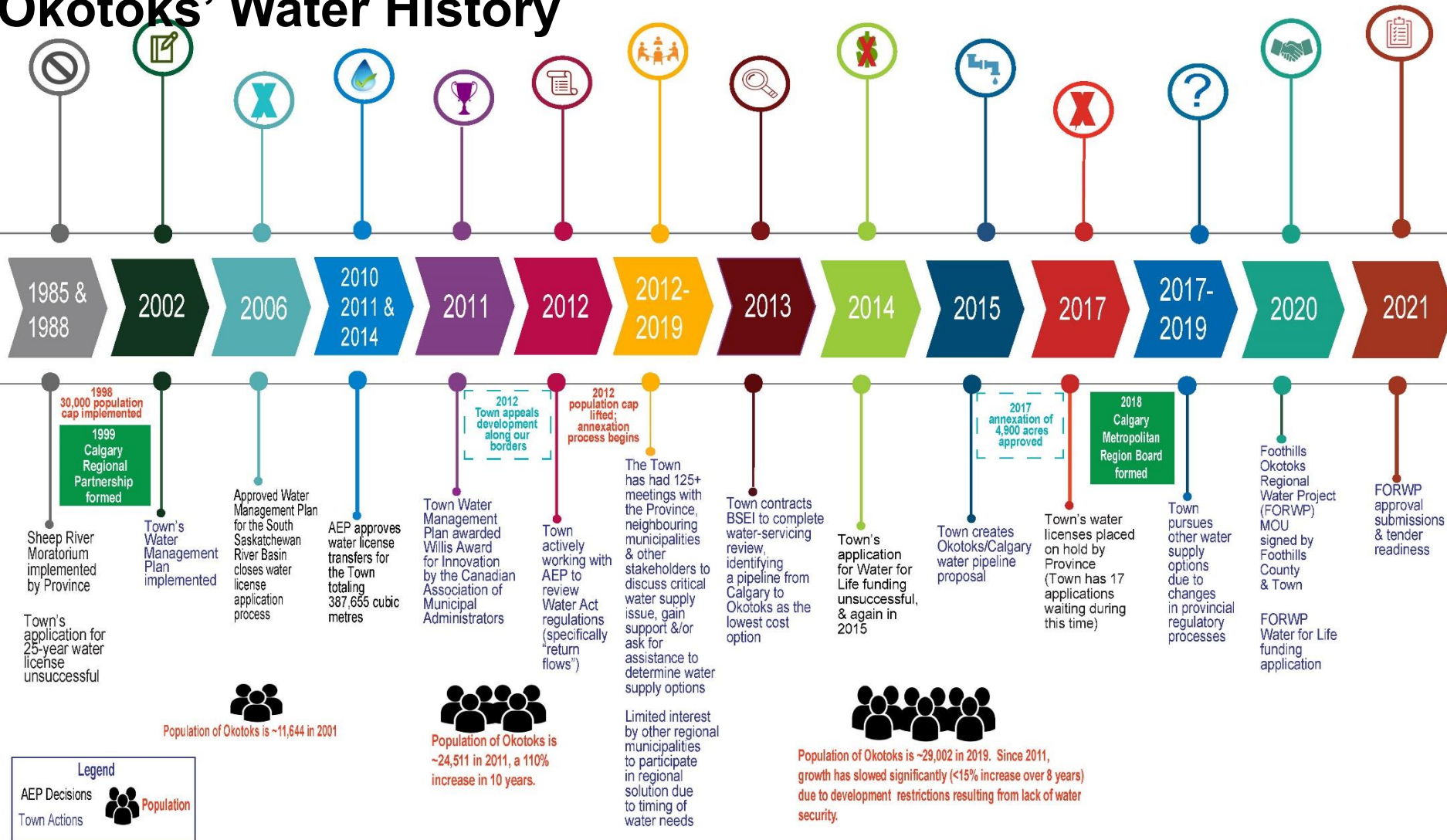
Path Forward

People working together in a strong community with a shared vision and common purpose can make the impossible possible.

Questions?

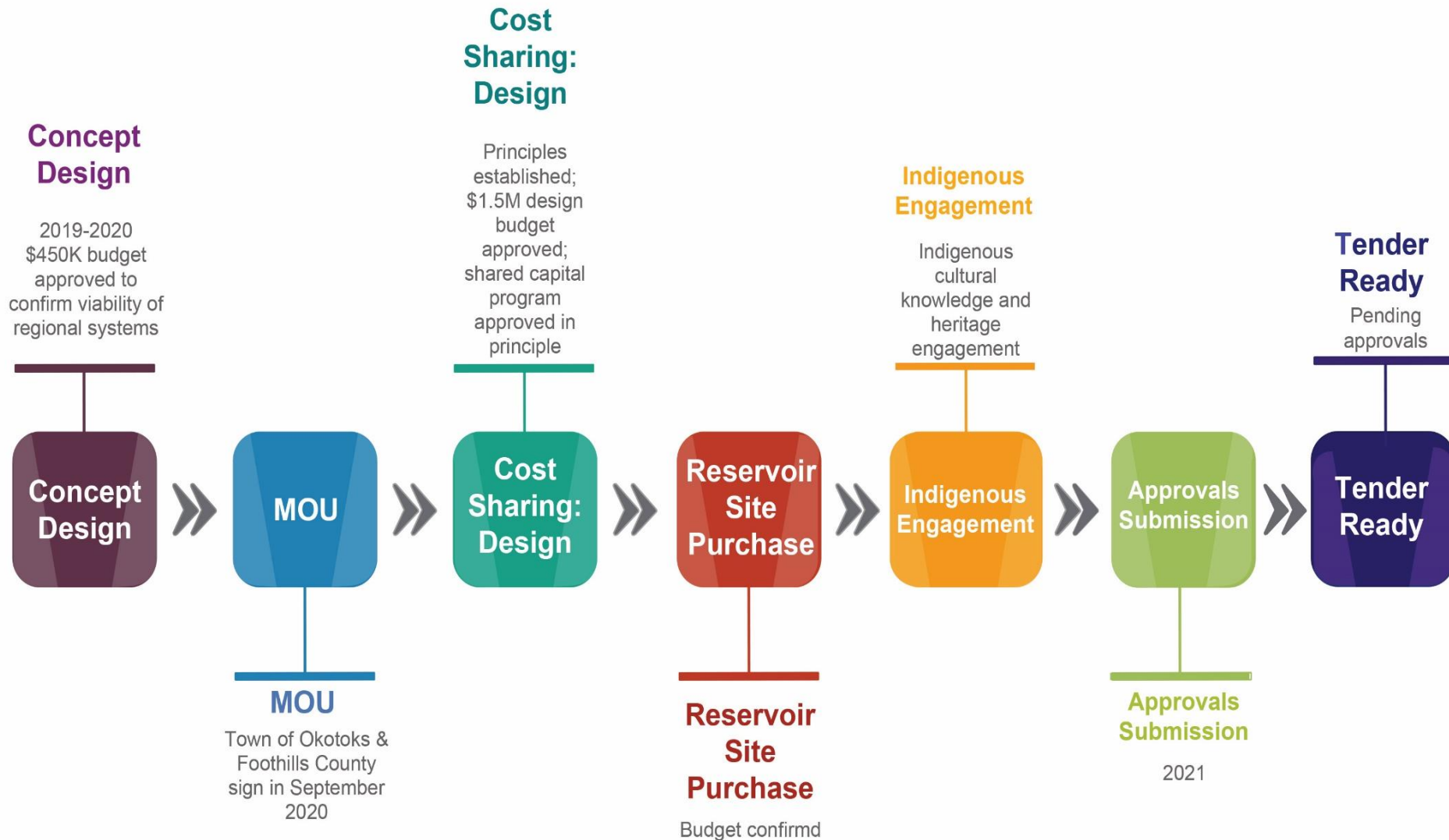
Regional Water Pipeline Project

Okotoks' Water History



Regional Water Pipeline Project

Where we're at:



Regional Water Pipeline Project

Alignment, budget, funding

- The water will come from the Bow River at the confluence with the Highwood River. This location was selected in consultation with AEP and ensures the water we remove is returned to the same location on the Bow after we use and treat it.
- The pipeline alignment will be determined through engagement of various stakeholders such as Alberta Transportation, AEP, the municipalities & other impacted stakeholders.
- The shared \$34.23M preliminary cost-sharing estimate was approved in principle; subject to refinements through the design process.
- Assuming a 45 percent grant funding option, cost-sharing will be divided based on the percentage of water each partner will be accessing. This will allocate \$24.47M to Okotoks and \$9.76M to Foothills County.
- The net cost to municipalities is dependent on the amount of grant funding received. The proposed funding for Okotoks' share of the project is for 100 percent to be financed through grants and off-site levies, which are charges to developers to pay for infrastructure required to support growth.
- \$1.5 M for cost-sharing to complete the detailed design was approved with funding sources to be confirmed by each council. Okotoks is using offsite levies to fund their share of the design costs.



Confluence of Bow & Highwood Rivers

Project benefits

The Town believes it is important to have the project ready to support long-term sustainable growth for the region. The project is expected to be tender ready by 2022; this would ensure:

- **Safe, secure supply of drinking water**
- **Increased resilience**
- **Healthy aquatic ecosystems**
- **Reliable, quality water supply for a sustainable economy**

Next steps

- **Work on approval from Alberta Environment and Parks**
- **Confirm raw water intake and watermain alignment**
- **Complete design work**

Questions?

As the region adds another million people, greater cooperation among all the municipalities will be needed to create a resilient and globally competitive region.

The CMRB was established under the regulations of the Municipal Government Act (MGA) and is composed of elected officials from the CMRB's 10 member municipalities:

- Cities of Airdrie, Calgary, Chestermere
- Towns of Cochrane, High River, Okotoks, Strathmore
- Counties of Foothills, Rocky View, Wheatland

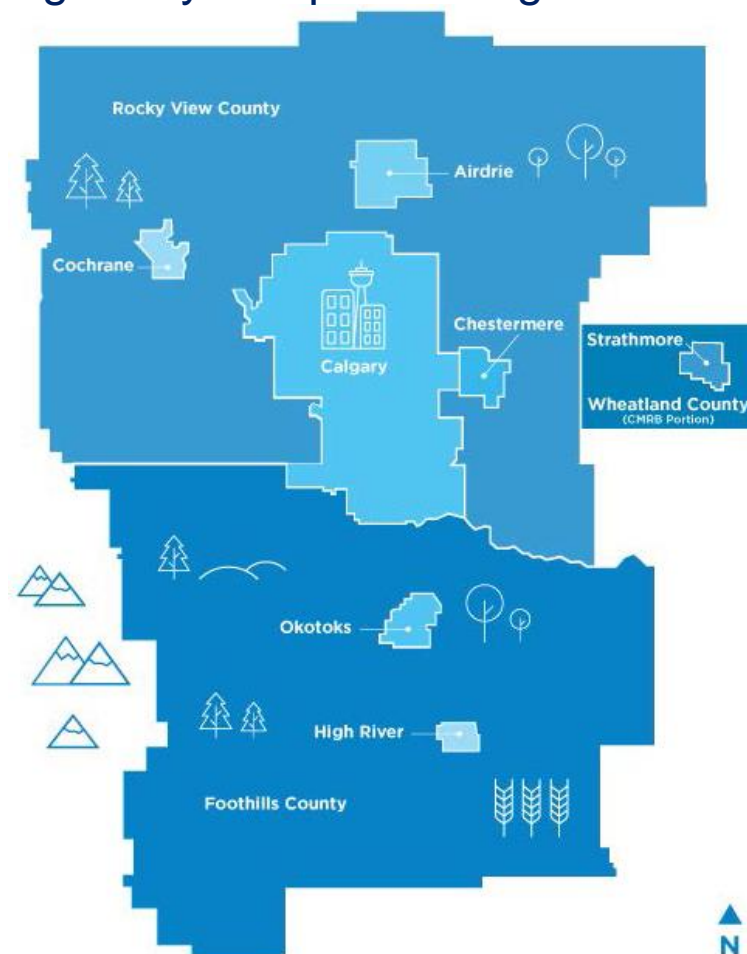


Figure 1: Calgary Metropolitan Region Member Municipalities

Under the MGA the role of the CMRB is to:

- **promote the long term sustainability of the Calgary Metropolitan Region**
- **ensure environmentally responsible land-use planning, growth management and efficient use of land**
- **develop policies regarding the coordination of regional infrastructure investment and service delivery**
- **promote the economic wellbeing and competitiveness of the Calgary Metro Region**
- **develop policies outlining how the Board shall engage the public in consultation**

CMRB Growth Plan



The CMRB is required to create a growth plan that meets these mandates and promotes an integrated and strategic approach to planning for future growth in the Calgary Metropolitan Region.

The proposed plan identifies the overall development pattern and key future infrastructure investments that:

- best complement existing infrastructure, services and land uses in the Calgary Metropolitan Region
 - best complement the desired scale of development and community visions across the region
 - best address efficient and cost effective growth and development, and maximize benefits to the region
 - coordinate decisions among all member municipalities to sustain economic growth and ensure strong communities and a healthy environment
 - promote the social, environmental and economic well-being and competitiveness of the Calgary Metropolitan Region
- 



Questions?

Background

- Over the past 15 years, Okotoks has grown from approximately 14,000 to almost 30,000 people. As we continue to grow, there is a need for more & different types of housing.
- Council established the Affordable Housing Task Force in 2018.
- Mandate: to research Okotoks' housing situation, identify various tools to take action on increasing affordable housing & create recommendations to achieve this.
- A Housing Needs Assessment completed in 2019 indicated almost half of renters are spending >30% of their income on rent & utilities, 9% higher than the provincial average. One in five Okotoks' residents are spending >50% of their income to pay for a place to live.
- In late 2019, the Town purchased approximately 3 acres in the D'Arcy neighbourhood for affordable housing.



Affordable Housing Strategy

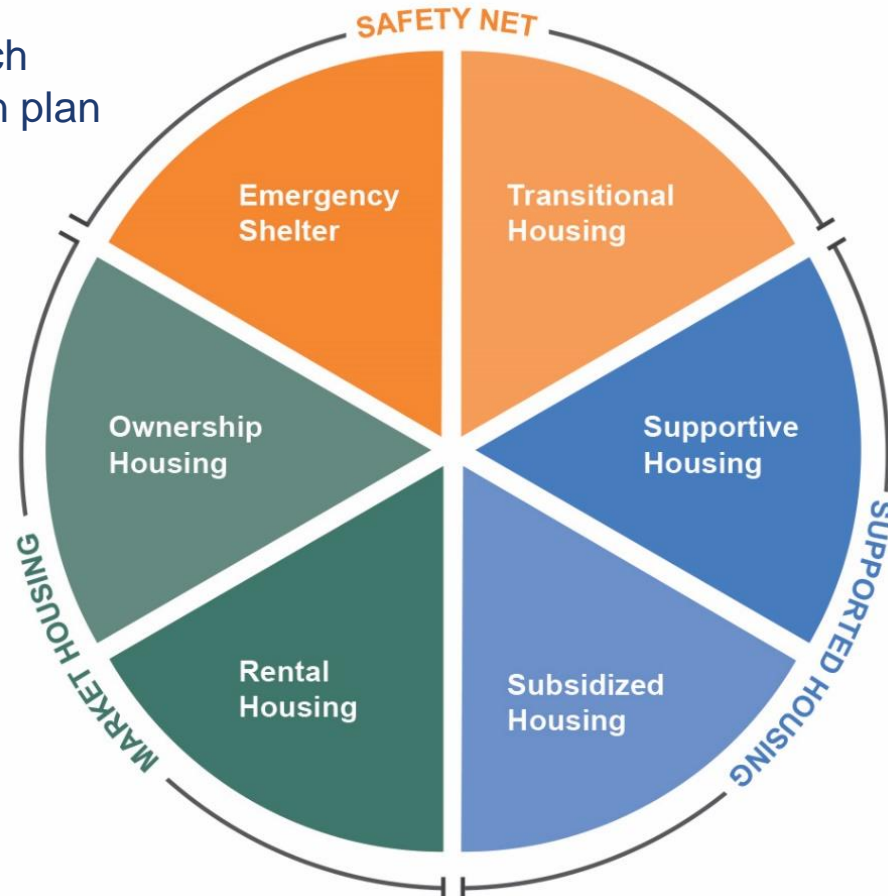
- Okotoks Town Council approved an Affordable Housing Strategy in principle in October 2020. The strategy is focused on increasing the diversity of housing in Okotoks to meet the needs of all residents at all ages and stages of their lives.
- The strategy included five focus areas:
 - **Data Readiness (2020-2025)** – Data is the key to understanding what the current housing needs are for Okotoks
 - **Resourcing the Strategy (2021-2025)** – Adequate funding, land & capacity to meet housing needs
 - **Create the Conditions to Build Affordable Housing (2020-2025)**
 - **Maintain Existing & Establish New Partnerships to Get Housing Built (2020 - 2025)**
 - **Monitoring & Implementation (2020 - 2025)**



Five Year Action Plan

The plan articulates a number of actions under each strategy to address the needs Okotoks. The action plan is organized to:

- Respond to each strategy
- Identify the Town's role as a leader, partner or advocate for each action
- Articulate short-term (0-5 yrs) & medium term (6-10 yrs) actions for each strategy
- Relate to the housing wheel
- Identify implementation roles: who is the Decider, who is Accountable, who is Responsible, who is Consulted and who is Informed
- Identify which of the three parent policies in the MDP the action relates to



Update

- At the March 22 Council meeting, two programs that reflect recommendations in the Affordable Housing Strategy were approved:
- The ***Below Market Housing Incentive Grant program*** will provide an incentive for developers to build below market housing that must be rented at a minimum of 20% below market rate for a minimum time period of 20 years.
- The ***Secondary Suite and Accessory Dwelling Unit Grant program*** will provide financial grants & education to stimulate the timely development of new secondary suites & accessory dwellings, or the upgrading of existing non-compliant, unpermitted secondary suites.
- Administration will now work to develop the application packages and processes for each of the programs, which are scheduled to begin this spring.



Questions?

The public is welcome to submit questions on other topics of interest. Please submit them through the Q and A portal.

Closing comments



Here are some upcoming public participation opportunities:

- Rich's Playground Upgrades Survey – available until April 28 at noon
- Wayfinding Webinar – April 28, 7-8pm; registration required
- Downtown Vitalization Phase 2 – concept design survey in early May; dates to be determined

All details are available at okotoks.ca/have-your-say

- **Moving to Alberta Emergency Alert for all emergency notifications as of May 1.** To learn more and sign up visit okotoks.ca/emergency-preparedness

Thank you for joining us this evening. The webinar has been recorded and will be available on the Town's website.