

Concept Plan

for

Westmount Centre

Okotoks, Alberta

Prepared for

Prominence Development Corporation

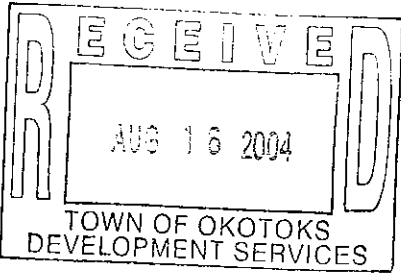
Prepared by

Cohos Evamy

Bassett Associates Landscape Architecture Inc.

August 16, 2004

*approved
version
by mpc
aug 19/04*



Purpose of Document

This document describes the Concept Plan for the Westmount Centre. It consists of this document, plans, elevations and materials board.

The Concept Plan for the Westmount Centre describes the development concepts that must be met by anyone preparing to develop on any of the lots within the site of the Westmount Centre, at the corner of Southridge Drive and Highway 7, in Okotoks, Alberta.

The intent of these development requirements is to complete a cohesive design for the entire project, while taking into account the need of tenants that need to express an individual image to their stores. Prominence Development Corporation has developed the concepts outlined in this document in conjunction with the Town of Okotoks. This document is intended to be read together with the Town of Okotoks Land Use bylaw for this site, is approved by the Municipal Planning Commission of the Town of Okotoks, and forms part of the development approval process.

Application

This document applies to all lots in the Westmount Centre commercial portion of the Westmount subdivision in Okotoks, Alberta, irrespective of ownership. These standards will be extended to apply to any tenant that will be designing and developing their own site and/or building.

These concepts set the minimum standards expected for each building and site development. In addition, all developments must conform to the rules of the regulations of the Town of Okotoks Land Use bylaw, and all applicable codes, statutes and regulations. In case of conflict, the Bylaws of the Town of Okotoks override this document.

References to “Tenant” in this document apply to both tenants and/or owners of the subdivided lots within the Gateway Commercial portion of the Westmount Subdivision. References to the parent developer means Prominence Development Corporation

Review Process

Prominence Development Corporation shall review all projects for conformance with these concepts. An application to the Town of Okotoks for a development permit may not be submitted until such a review has been successfully completed.

Submission Requirements

Tenants are to submit three sets of their designs to Prominence Development Corporation for review. The quality of the submission must be commensurate with the requirements for development permit application for the Town of Okotoks. Two set will be returned to the Tenant.

OVERALL DESIGN CONCEPTS

Development Description

Prominence Development Corporation intends to develop a phased mixed commercial/retail and hotel development on its lands at Westmount in Okotoks, Alberta. The development is on an approximately 24 acres site bounded by Southridge Drive to the east, Westland Street to the North and Highway 7 to the south, in Okotoks, Alberta. The site is flanked by residential and commercial developments and provides a gateway to the Westmount Community nearby.

The land use designation for the site is the Gateway Commercial District in the Land Use Bylaw of the Town of Okotoks, applicable at the time of approval of this Concept Plan.

Traffic Access

Traffic access to the site will be provided at three locations:

- One signalized all turns access at Southridge Drive
- One right-in-right-out access at Southridge Drive
- One all-turns access at Westland Street

Other access points to the site are not contemplated at this time.

General Concepts

Westmount Centre is made up of a series of separate lots of varying sizes. Buildings or developments on these lots shall be planned and designed so as to provide an as an integrated and unified project.

Architectural features and details, colour, signage and landscaping are the principal unifying elements. Accordingly, they shall be treated as continuous elements and form an essential requisite of development approval.

All buildings within the development shall incorporate a consistent architectural style, exterior finishes and materials, and details. In all cases, they shall have the appearance of being a contiguous and comprehensively designed development, within each lot and within the whole centre.

Pedestrian Circulation

A clearly defined pedestrian circulation system has been established to create linkages between all the buildings, and to the regional pedestrian pathway.

Concrete sidewalks with patterns provide direct, well lit, and barrier free connections between land uses and buildings. Pedestrian routes should be comfortable for users and are distinct from vehicular routes.

The minimum width of the main walkways in front of the buildings is 2.4m (5 feet). Secondary sidewalks at the side of buildings should not be less 1.5m.

SITE AREAS:

SITE "A"	(+/-) 10.18 acres
SITE "B"	(+/-) 2.55 acres
SITE "C"	(+/-) 2.86 acres
SITE "D"	(+/-) 2.56 acres
SITE "E"	(+/-) 5.73 acres

SITE INFORMATION:

MUNICIPAL ADDRESS:	Westland Street and Southridge Drive, Okotoks AB
LEGAL ADDRESS:	---
LAND USE:	COMMERCIAL GATEWAY
TOTAL SITE AREA :	±23.9 Acres ±96 600 sm ±1,039,770 sf

PROPOSED PYLON SIGN LOCATIONS

THIS PLAN SHOWS THE PROPOSED DEVELOPMENT CONCEPT FOR THE ENTIRE SITE. DEVELOPMENT WITHIN EACH SUBDIVIDED LOT MAY VARY, BUT WILL BE SUBJECT TO THE CONCEPTS AND GUIDELINES DEVELOPED IN THIS PLAN, AND SUBJECT TO A DEVELOPMENT PERMIT APPLICATION



WESTMOUNT COMMERCIAL DEVELOPMENT - OKOTOKS, AB

CONCEPT PLAN

Project No.: C02312.01

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August 9, 2004

Landscaping, seating and pedestrian scale lighting will be incorporated along pedestrian routes (Figure 1).

Streetscapes

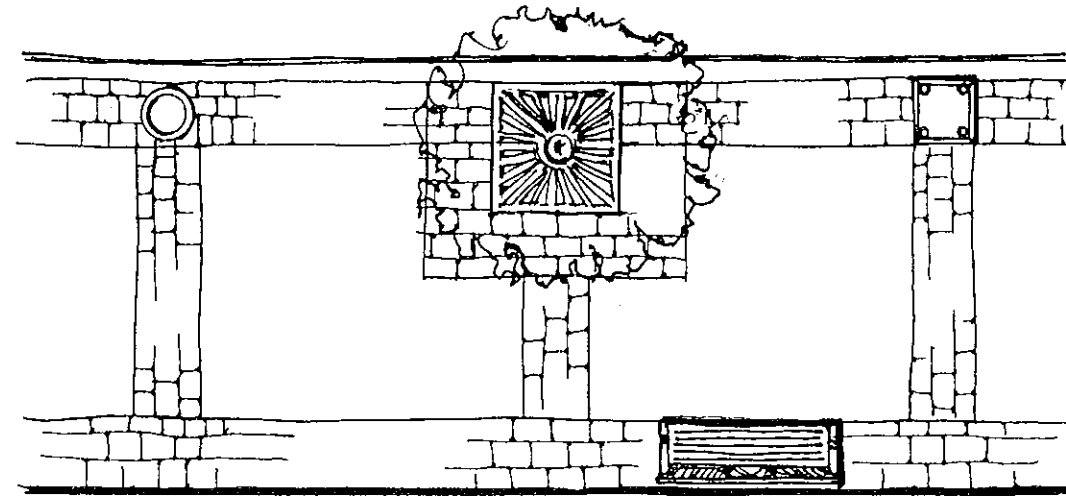
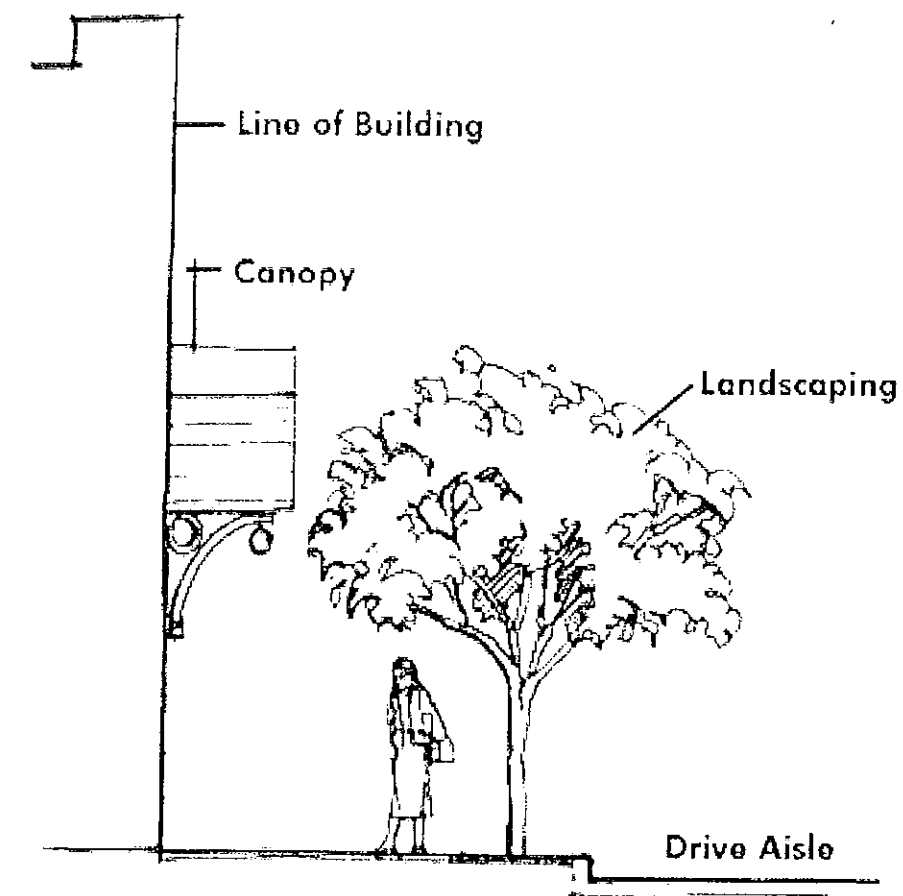


Figure 1

- Streetscape amenities, including hard and soft landscaping, trees, sidewalks, lighting, street furniture etc. will be consistent in quality and design, and will be designed to enhance the appearance of the area, address the needs of pedestrians, and promote safety.
- Comprehensive landscaping is provided along pedestrian pathways, sidewalks and throughout parking areas to meet the requirements of the Town of Okotoks.
- Pedestrian crossings will consist of upgraded paving treatments such as concrete pavers, patterned concrete or other materials to assist in defining a high quality pedestrian supportive environment.
- Principal entrance roads incorporate central landscaped medians and landscaped boulevards with sidewalks and pedestrian scale lighting.

Relationships Between Street and Building Design



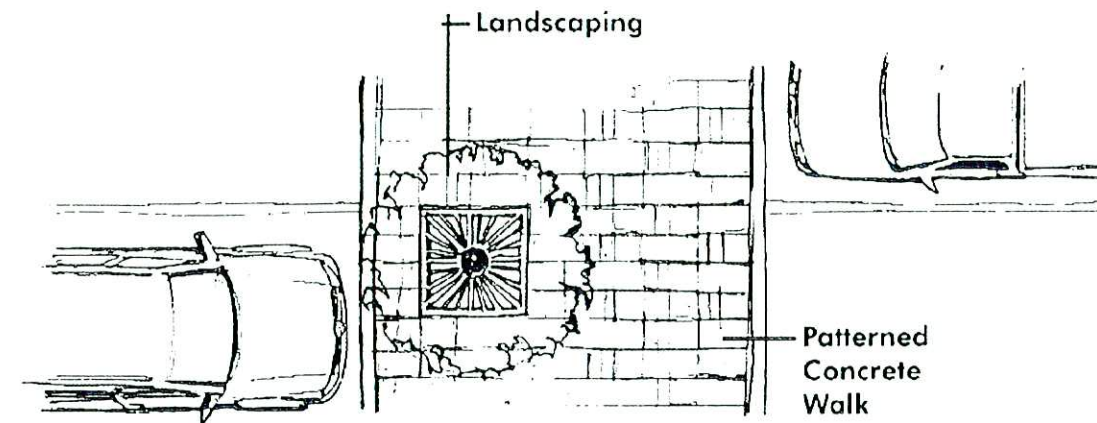
SECTION THRU FRONT WALK

Figure 2

- The relationship between buildings, streets, and streetscape elements assist in contributing to the streetscape (Figure 2).
- Building elements exposed to public view are to have a consistent and continuous architectural quality, through the use common materials, colour and feature elements (Figure 2).
- All service areas exposed to public streets will be screened with landscaping or a combination of fencing and landscaping.
- All garbage containers not included in buildings must be screened.

Parking Areas

The minimum number of parking stalls to be supplied is to meet the requirements of the Land Use Bylaw of the Town of Okotoks, with a parking stall width of 2.7m, instead 2.6m. Each subdivided site is to be self sufficient in the number of parking stalls required. The project is design to benefit from sharing of parking areas between the different uses, as peak demand may occur doe different users at different times.



PLAN OF PEDESTRIAN BLVD

Figure 3

Design Concepts for the parking areas are to include the following:

- Parking lots will incorporate tree lined pedestrian sidewalks as a means of breaking down the scale of large parking areas providing visual relief, and offering separate pedestrian pathways linking major buildings within the regional retail lands (Figures 3, 5).
- Pedestrian areas including designated crossing areas of the roadway will utilize upgraded paving materials including unit brick, concrete pavers or patterned concrete.
- In addition to parking field lighting, pedestrian scale light standards including bollard lighting will be used in association with pedestrian areas designated within parking lots.

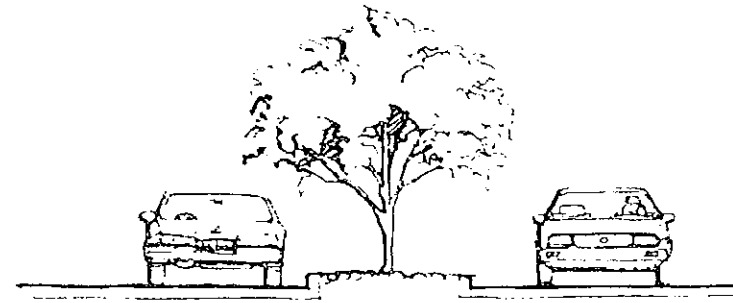


Figure 4

The ends of the parking bays may incorporate a boulevard incorporating a minimum of two trees, and other ground cover (Figures 4, 9).

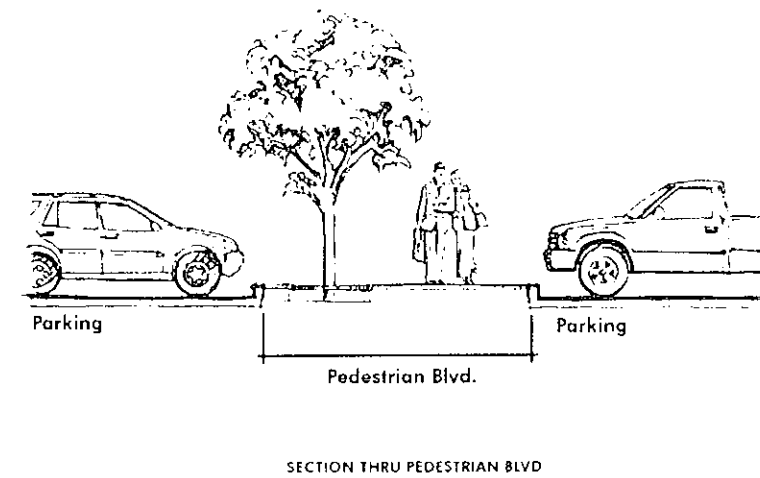


Figure 5

Architecture

All buildings must contain the following architectural elements:

- Pilasters along walls at frequent intervals to suit the design, to the attached detail. All materials must be the same on all buildings. All buildings must have pilasters on the corners.
- Cornices
- Masonry base course adjacent to the ground
- Same storefront detail

Details must be located at such heights as to produce a uniform look with the rest of the buildings in the Westmount Centre.

- Walls in large buildings must incorporate treatments to assist in breaking down the scale of the building including the use of wall setbacks, material changes, canopies and awnings and entrance features.
- Materials will be selected from a palette that set by the developer and responds to the tenant's needs for image and identifications.
- Taller landmark-type elements including clerestories, roof elements, or entrance towers incorporating glazing and special lighting may be used to give visual expression to entrances, outdoor amenity areas or as landmarks to define view

COMMON BUILDING ELEMENTS

Exterior Materials

- Architectural split face or ledger concrete block complete with integral colouration. Painted or plain face grey work is not permitted
- Acrylic stucco complete with architectural reveals or build outs to break up the building face
- Clear glazing
- Aluminum Storefront
- Natural Stone
- Cast concrete Stone

Exterior Lighting

- Parking lot lighting – high-pressure fixtures on maximum 9m high painted or refinished metal poles. The average illumination is to be two-foot candles. All heads and pole designs must be the same throughout the Westmount Centre, as approved by Prominence Development Corporation.
- Pedestrian path lamps – metal halide fixtures on a custom pole to suit the pedestrian scale.
- Building lights – accent-building lights are to be a metal halide fixture with a decorative shroud to suit the building architecture. Exposed lamps (such as unshielded “walpacs”) are not permitted.
- Security lighting – for areas not exposed to public view, building mounted security lighting be allowed. The lights are to be metal halide source and placed in a consistent measure on the building.

Exterior Colours

The Owner has selected the following range of colours for the main elements of the buildings

Roof -	Coffee Brown OR
-	Dark Brown QC229
Stone -	Eldorado Stone, Mountain Ledge - Mesa Verde
Trim -	Natural Cedar, Sikkens Teak # 085
Stucco - Acrylic tinted to:	Pratt & Lambert - Toasted Wheat 2044

Deviations from these colours may be approved at the sole and unfettered discretion of the Landlord, but only under special circumstances. Changes from these colours or materials shall be in the same colour range.

SIGNAGE REQUIREMENTS

- Signs, for the majority of tenants, specifically relates to a corporate image. The tenant's corporate image is to be accommodated by defining signage type and locations within the design criteria.
- Tenants are encouraged to design signs of an individual character that impart a dramatic or lively quality. Elements of a graphic or decorative nature are encouraged, adding to the variety and individuality of the signs.
- Tenants may develop signs that are multi-dimensional rather than flat. Signs may be composed of both text and a two or three-dimensional form that enhances the business identity. Tenants are encouraged to incorporate their logos in a three-dimensional manner.
- All tenant signage must be illuminated.
- Signage area cannot exceed 12% of the area of the tenant's façade

Directly Applied Signs

Signage must be designed in proportion to the storefront for clarity and readability, and according to the following criteria:

- 72" maximum letter size
- 12" minimum letter height
- No exposed raceways allowed
- All installations are to be with concealed electrical feeds

Accepted Sign Types

- Channel letters with light transmitting acrylic faces
- Reverse channel lettering with halo lighting
- Open face channel lettering with exposed neon
- Externally illuminated dimensional letters
- Exposed neon tubes in the form of letters or logos

Accepted Embellishments

- Two-dimensional geometric or illustrative forms
- Three-dimensional geometric or illustrative forms
- Exposed neon in geometric or illustrative form

Box Signs

The use of box signs is not supported except for corporate logos as secondary signage used in combination with signs described above. The box sign must be designed in proportion to the storefront for clarity and readability, and must meet the following criteria:

- Box sign should blend with wall face colour.
- All installations are to be thru-wall wired (no exposed conduit, supports or junction boxes are permitted).
- Pre-finished box with light transmitting face of either flex-face or polycarbonate acrylic face.
- Internal lighting high out-put cool white fluorescent.
- No manufacturer's labels to be visible on the box.

Exposed raceways will not be permitted except in situation where the conduits interfere with the structure. All raceways must be painted the same colour as the background they are placed against.

Individual Illuminated Letters

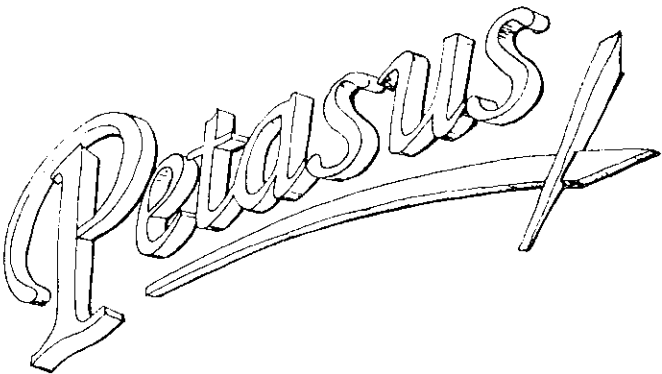


Figure 6

Individual illuminated letters are one of the most commonly accepted forms of tenant signage. Because of the wide use of this signage type, particular effort must be taken by the Tenant to create a unique signage style and presentation. An appropriate approach to creating interesting and appealing signage is to use individual illuminated letters in combination with illuminated accenting graphics. Signage with individually illuminated letters shall conform to the following requirements:

- Plexi-glass faces, metal faces, or open faced with exposed neon are acceptable.
- Letter returns to be a maximum of 5" and shall be constructed of Let-R-Edge, Channel-Lume, Plexi-glass or equal.
- All metal returns must be pre-finished or withstand exterior applications.

Neon Signage



Figure 7

Exposed neon lighting is permitted, either to create signage by themselves, or in conjunction with other signage types. The use of neon tubing as accenting or for graphics is encouraged. In all cases size shall be proportional to the storefront and shall be subject to PDC approval. The use of two colours, whenever neon is used, is strongly encouraged. The use of neon signage should consider visibility of signage during daylight. Neon installations shall conform to the following requirements:

- Neon tubing must be a minimum of 5/8" (15 mm) when used for graphics and a minimum 1/2" (12 mm) for neon letters.
- Single tube neon in main storefront signage is acceptable only when used with script style lettering and graphics. Outline letter styles are the preferred design approach.
- Day copy letters will be considered only if the contour of the lettering style is followed and the material used to form the letter's shape is identified for final approval.

Externally-illuminated Signage

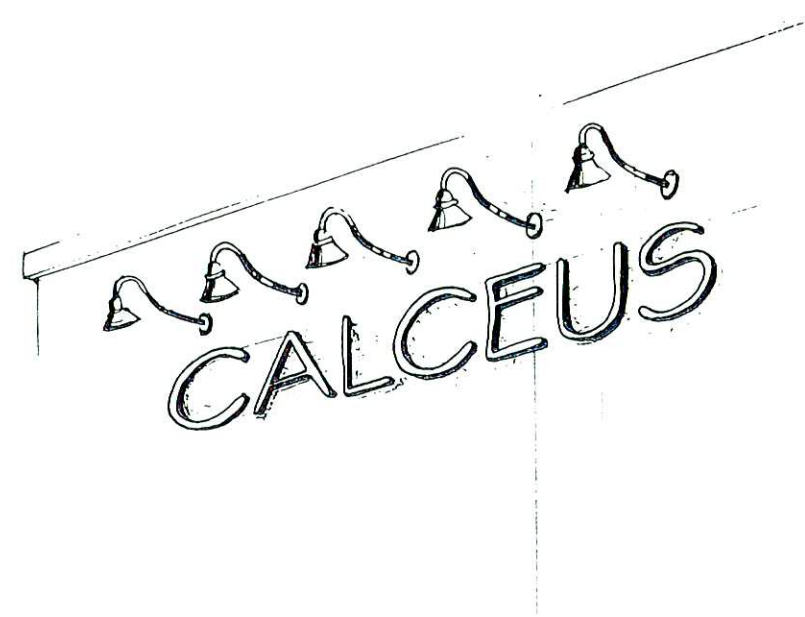


Figure 8

Externally illuminated signage will be approved under strict review for quality and craftsmanship. This type of signage must have an external light source. Signage submissions must be accompanied with sample letter for review to ensure signage quality. Externally illuminated signage shall conform to the following requirements:

- Individual letters may be constructed of a variety of materials that will give a smooth uniform durable finish. Materials that are not allowed are those that break down in exterior applications (e.g. Plywood letters or panels that delaminate over time, and styro-foam letters which are susceptible to breakdown in severe weather conditions.)
- Individual letters should have a minimum thickness of 2" when used as primary elements in signage. When used as secondary elements they should have a minimum thickness of 1". Letters less than 3" high must be a minimum of ½" thick.
- All signage must be illuminated either internally or by an external light source.

Combination Signs

Combination signage creates visual interest and is strongly encouraged. It is the hybrid use of the previously described signage types. Tenants can use a combination of externally illuminated, internally illuminated or individual illuminated letters, with exposed neon or three-dimensional elements.

- For the requirements of this sign type, refer to the appropriate sign types previously listed for individual requirements.

Multi-tenant Pylon Sign

The parent developer for the entire site will provide multi-tenant pylon signs. Tenants will not be allowed to provide their own single tenant pylon signs.

Materials

- Stone-clad base
- Metal Detailing
- Signage Case

Monument Sign

The parent developer for the entire site will provide monument pylon signs. No tenant signage will be allowed on monument signs.

Materials

- Stone-clad base
- Metal Detailing
- Box Sign

LANDSCAPING

The landscaping of this site has been developed congruously with the built form. This type of development focuses on the periphery, creating a vibrant street face with varied facades and a mixture of building, parking and landscaping. Trees on either side highlight the main entry.

All areas not built upon are landscaped. Landscape materials are of low maintenance and year round winter appearance has been given consideration. Shrubs are planted in groupings so as to create a feature appearance. All primary landscaped areas are bermed with soft natural slopes and contoured to flow to all curbs.

The landscaping is integral, to completing the design of the buildings and the freestanding signs of this site.

The landscape of the Shopping Center has been designed to meet or exceed the requirements of the Town of Okotoks' requirements for commercial developments, and to complement the architecture.

A minimum overall landscaped set back of a minimum of 6 metres is provided around the perimeter of the site. Grades within this zone will be modulated through the use of low, rounded landscape berms. These will range in height up to 600 mm and will be high enough to assist with the screening of vehicles but not so high as to prevent views to and from the shopping center buildings. The modulations will accentuate the planting and help plant survival by directing surface water run-off to the trees and shrubs.

Parking rows are to be terminated by a landscaped area. In most instances this objective has been achieved within the parking row, however, in some sections the requirement for parking spaces necessitates that the trees be located across a travel lane. These trees do meet the objective of providing a visual break to the parking and further zone the landscape of the parking areas into outline large parking "rooms" while delineating circulation routes.

Signage and landscaping are two principal unifying elements. Accordingly, signage requirements and the landscaping of street frontages shall be treated as continuous elements and form an essential requisite of development approval.

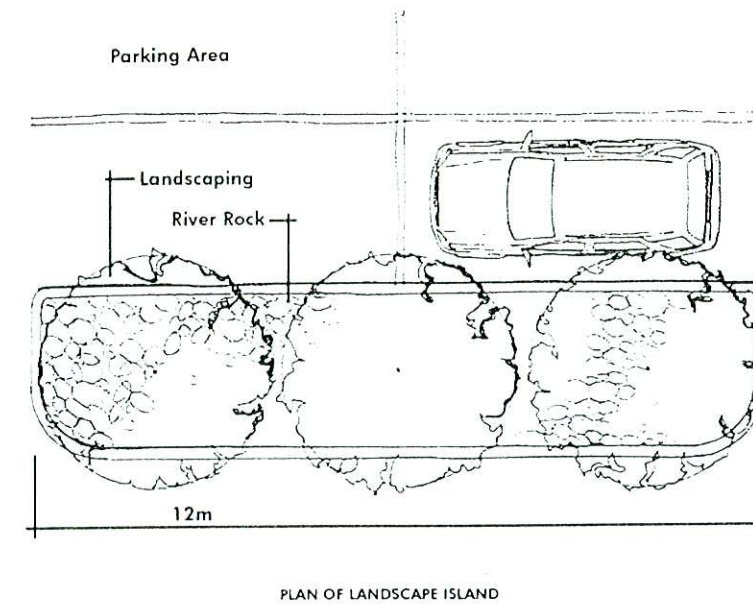


Figure 9

Planting Hierarchy

Planting within the parking lot is to have a hierarchy of trees as well as the use of foliage color to reinforce the landscape zoning and visual character of the “parking rooms” described above. Trees are to be spaced no farther apart than their mature crown spread. Trees should be planted centered in the landscape median, and in line with the adjacent parking stall lines. This will prevent damage to trees caused by vehicle overhangs extending into the landscape medians or islands. Nursery grown sod shall be considered the standard ground cover, unless slopes exceed 3:1, where appropriate shrubs will be used for ground cover. Planting can be classified into the following general groupings:

Large trees are trees that have a mature crown spread of 6.0m or greater, and are to have a minimum 85mm caliper size at time of planting. The largest trees are to be used to delineate the primary circulation route through the site. The intent is to provide a strong visual cue to the location of the parking lot entry and exit points. All large trees are to have a minimum clear stem (height of trunk that is clear of branches) of 1.8m.

Medium trees are trees that have a mature crown spread of 5.0 – 6.0m and are to have a minimum 75mm caliper size at time of planting. The medium trees are to be used to delineate the secondary circulation route through the site. These routes consist of internal circulation routes, which connect various parking areas to the primary entry/ exit route. They are also used to delineate pedestrian connections from one parking area to another.

Small trees are trees that have a mature crown spread of 4.0 – 5.0m and are to have a minimum 60mm caliper size at time of planting. The small trees are to be used to provide foliage color, spring blossoms, and visual interest within the parking areas. Due to their smaller size, trees with a narrow, upright growth habit are to be used in the parking medians or islands.

Specimen trees are trees of high ornamental value and are to be selected for key planting areas such as entry and exit points.

Setback and R.O.W Landscape consists of planting within the designated setback and right-of-way areas. Landscaping within the 6.0m set back will include coordination of planting to match the same character, in terms of species and formality, of the approved Westmount Phase 1 MR open spaces. Landscaping within the Southridge Drive ROW will include coordination with the existing Cimarron side. Planting in these areas are typically informal in character, and consist of more native plant species. Planting shall not impede sight lines to the proposed signage locations. A mixture of deciduous and coniferous trees are to be used, with the coniferous tree planting used to screen open parking areas from major vantage points.

Parking Lot Representative Planting List

The following is a list of trees that will be acceptable for use within the parking lot area:

BOTANICAL NAME	COMMON NAME
<u>Large Trees</u>	
Brandon Elm	Ulmus Americana 'Brandon'
<u>Medium Trees</u>	
Foothills Green Ash	Fraxinus pennsylvanica 'Heuver'
Fallgold Black Ash	Fraxinus nigra 'Fallgold'
Manchurian Ash	Fraxinus mandshurica (Seedless)
<u>Small Trees</u>	
Rosthern Crabapple	Malus x 'Rosthern'
Strathmore Crabapple	Malus x 'Strathmore'
Russian Mountain Ash	Sorbus aucuparia 'Rossica'
<u>Specimen Trees</u>	
Thunderchild Crabapple	Malus x 'Thunderchild'
Swedish Columnar Aspen	Populus tremula 'Erecta'

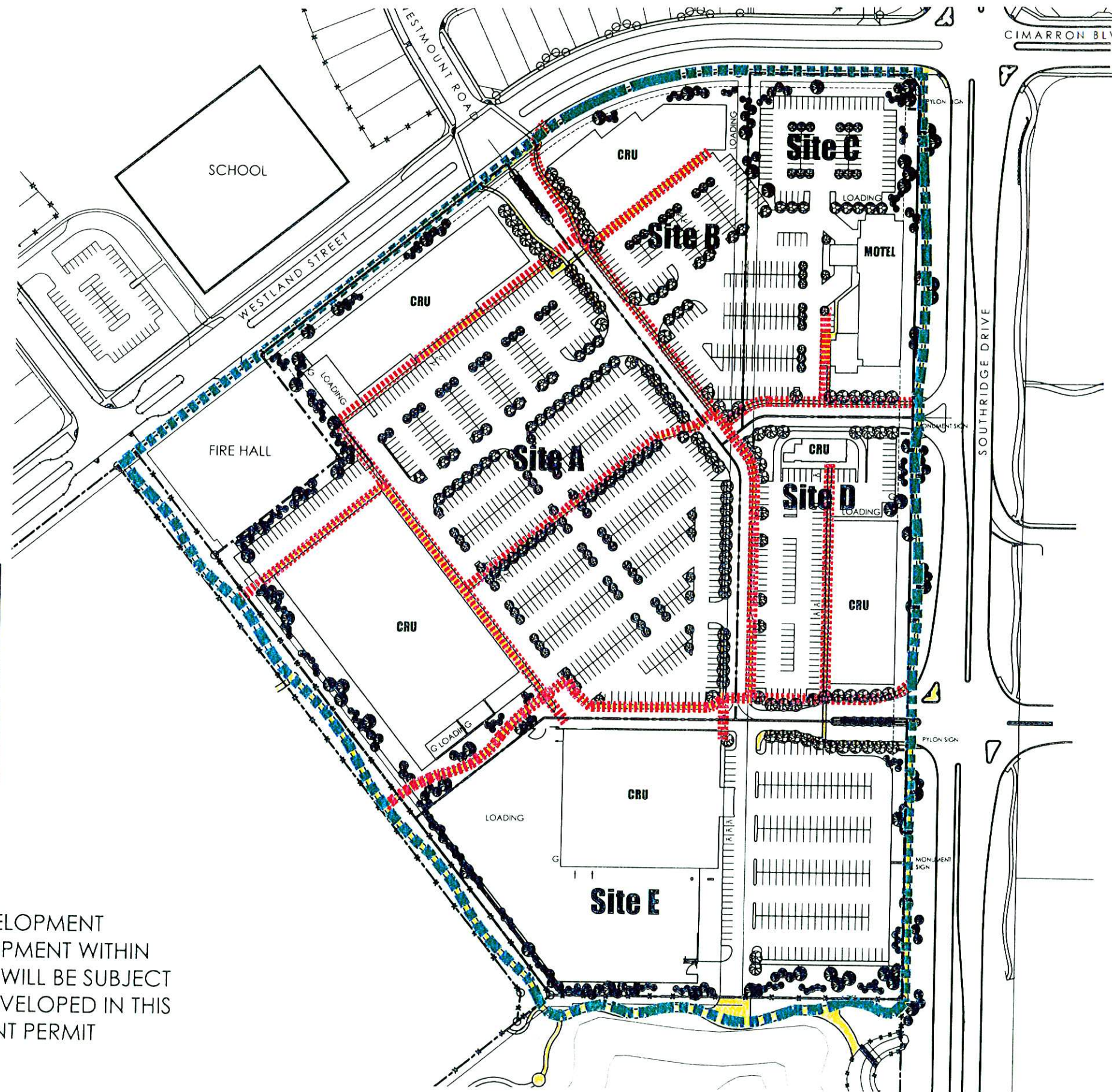
Setback and R.O.W Representative Planting List

The following is a list of trees and shrubs that will be acceptable for use within the Setback and R.O.W areas:

BOTANICAL NAME	COMMON NAME
<u>Deciduous Trees</u>	
Toba Hawthorn	Crataegus mordenensis 'Toba'
Manchurian Ash	Fraxinus mandshurica (Seedless)
Foothills Green Ash	Fraxinus pennsylvanica 'Foothills'
Prairie Spire Green Ash	Fraxinus pennsylvanica 'Prairie Spire'
Northern Treasure Spire Green Ash	Fraxinus pennsylvanica 'Northern Treasure'
Dolgo Flowering Crabapple	Malus x 'Dolgo'
Rosthern Flowering Crabapple	Malus x 'Rosthern'
Strathmore Flowering Crabapple	Malus x 'Strathmore'
Balsam Poplar	Populus balsamifera
Bylands Green Poplar	Populus x 'Bylands Green'
Sargentii Poplar	Populus sargentii
Mayday Chokecherry	Prunus virginiana 'Mayday'
Shubert Chokecherry	Prunus virginiana 'Schubert'
Laurel Leaf Willow	Salix pentandra
Brandon Elm	Ulmus Americana 'Brandon'
<u>Coniferous Trees</u>	
White Spruce	Picea glauca
Colorado Spruce	Picea Pungens
<u>Deciduous Shrubs</u>	
Saskatoon	Amelanchier alnifolia
Berberis species	Barberry species
Pygmy Caragana	Caragana pygmaea
Dogwood species	Cornus spp.
Wolf Willow	Elaeagnus commutate
Honeysuckle species	Lonicera spp.
Juniper species	Juniperus spp.
Diabolo Ninebark	Physocarpus opulifolius 'Diabolo'
Potentilla species	Potentilla spp.
Currant species	Ribes spp.
Rose species	Rosa spp.
Buffaloberry species	Shepherdia spp.
Willow species	Salix spp..
Spirea species	Spirea spp.
Lilac species.	Syringa spp.

Site Furnishing

The following images are representative of the character and quality of site furnishing to be used throughout the commercial development site. All benches, trash receptacles and bike racks are to have powder coated paint finishes, with black to be the standard color. Other colors will be considered at the Development Permit level. Benches are to be metal, surface mounted, with a minimum length of 1.8m (6'0"). Trash receptacles are to be complementary in appearance to the benches, with a 136-liter (36 gallon) capacity. Bike racks are to be of a type that will allow for a maximum flexibility in arrangement and quantity.



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LEGAL ADDRESS:	---
LAND USE:	COMMERCIAL GATEWAY
TOTAL SITE AREA :	±23.9 Acres ±96,600 sm ±1,039,770 sf

- PROPOSED PYLON SIGN LOCATIONS
- PROPOSED INTERNAL PATHWAY SYSTEM
- REGIONAL / PERIMETER PATHWAY SYSTEM

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WESTMOUNT COMMERCIAL DEVELOPMENT - OKOTOKS, AB

CONCEPT PLAN - PEDESTRIAN WALKWAYS





Project No.: C02312.01



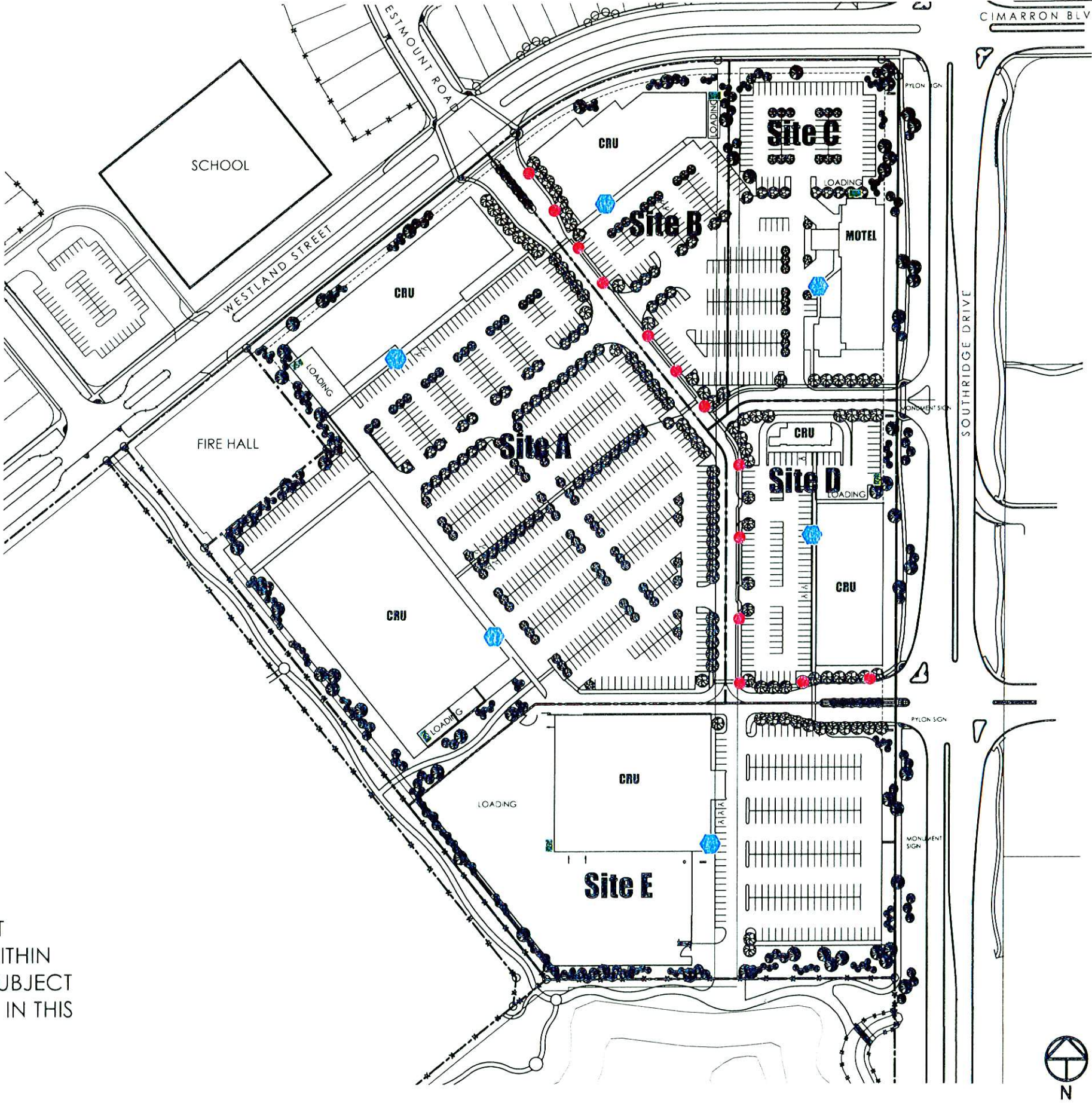
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August 9, 2004

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TOTAL SITE AREA :	±23.9 Acres ±96 600 sm ±1,039,770 sf
	PROPOSED PYLON SIGN LOCATIONS
	PROPOSED LOCATION OF GARBAGE CONTAINERS
	PARKING LOT STANDARDS
	BIKE RACKS

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WESTMOUNT COMMERCIAL DEVELOPMENT - OKOTOKS, AB

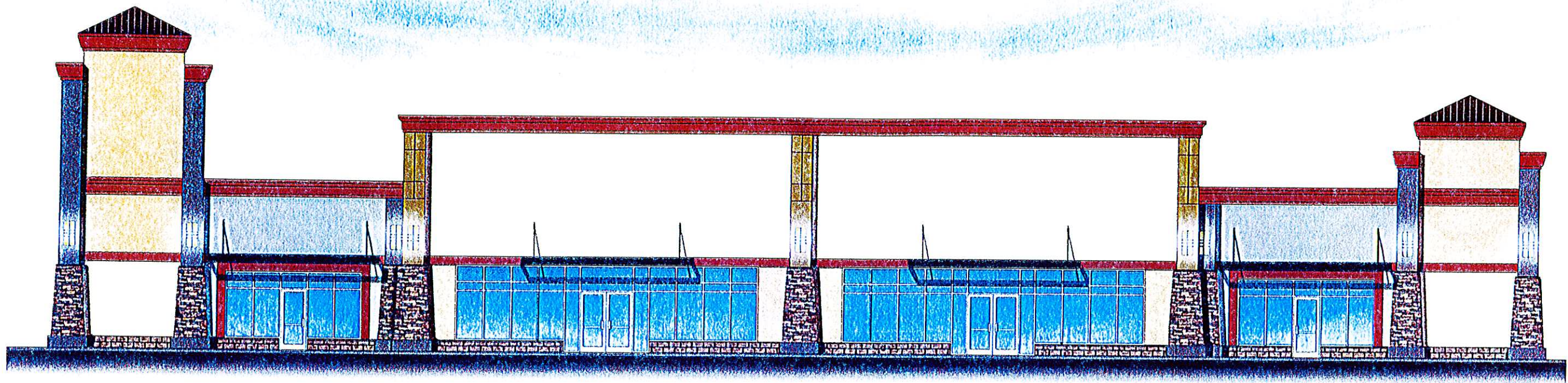
CONCEPT PLAN - FIXTURES

Project No.: C02312.01 SCALE 1 : 2000

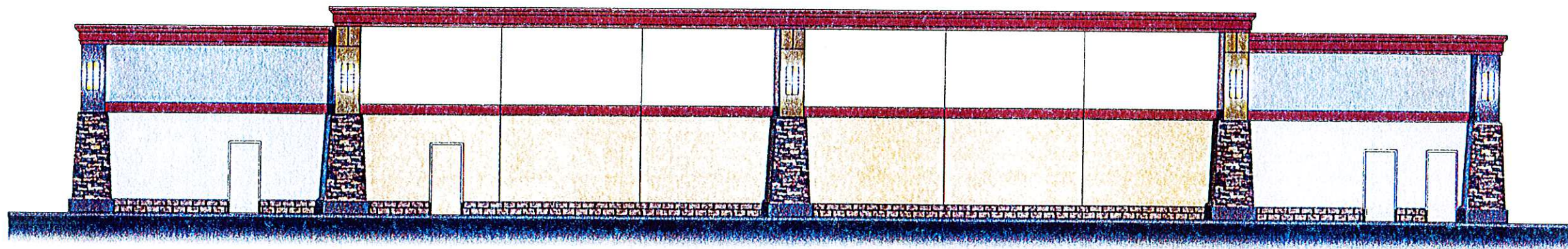
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August 9, 2004

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Typical Front Elevation



Typical Back and/or Side Elevation

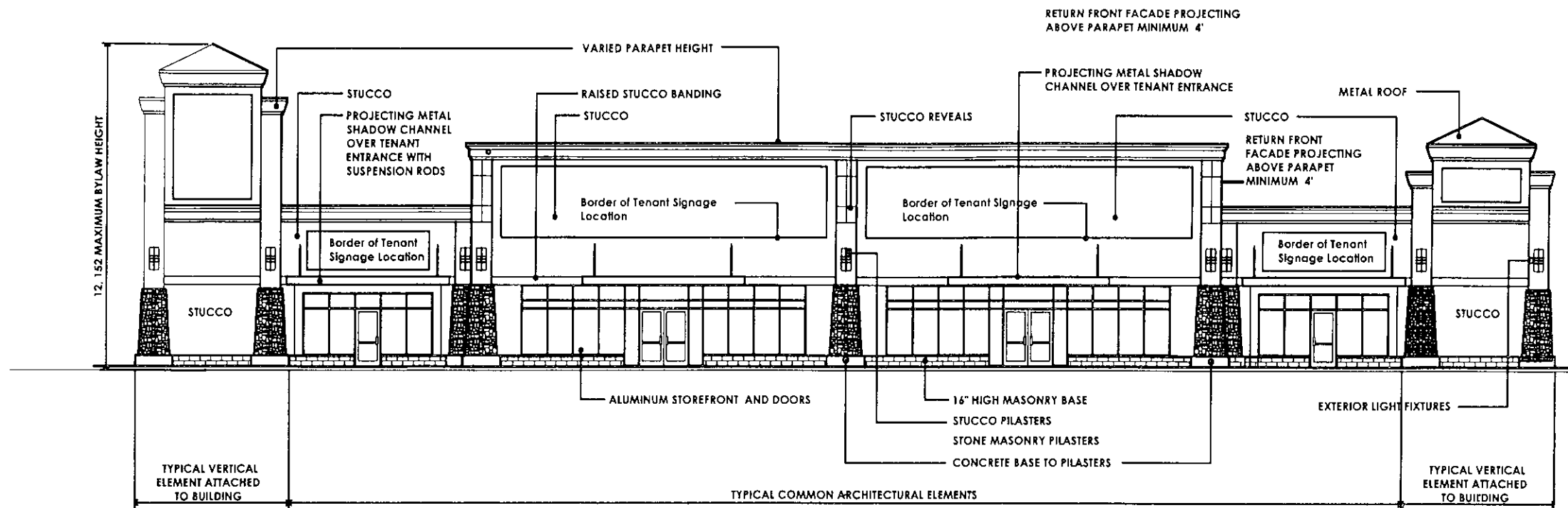
WESTMOUNT COMMERCIAL DEVELOPMENT - OKOTOKS, AB

TYPICAL ELEVATIONS

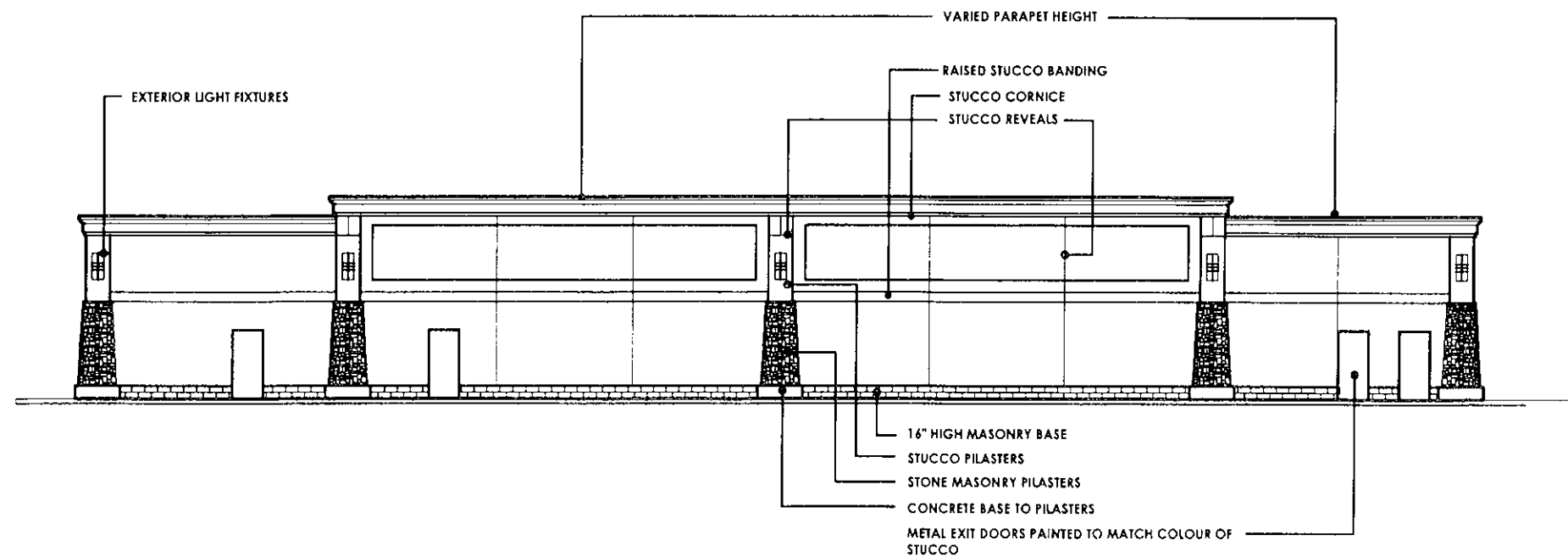
Project No.: C02312.01

CO-HOS EVAMY
ARCHITECTS

August 9, 2004



Typical Front Elevation



Typical Back and/or Side Elevation

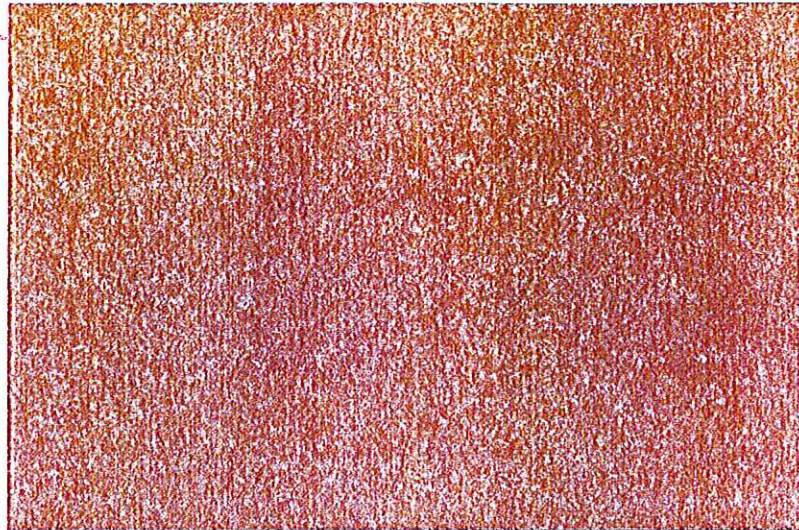
WESTMOUNT COMMERCIAL DEVELOPMENT - OKOTOKS, AB

TYPICAL CONCEPT ELEVATIONS

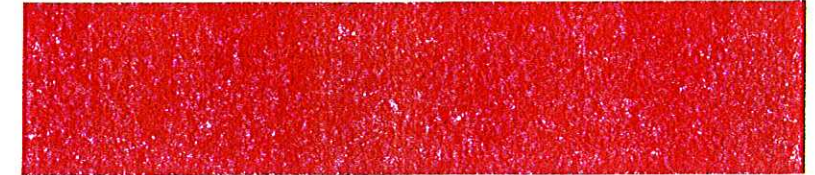
Project No.: C02312.01 SCALE 1 : 200

COHOS EVAMY
ARCHITECTURAL
CONSULTANTS
100-111-111
100-111-111

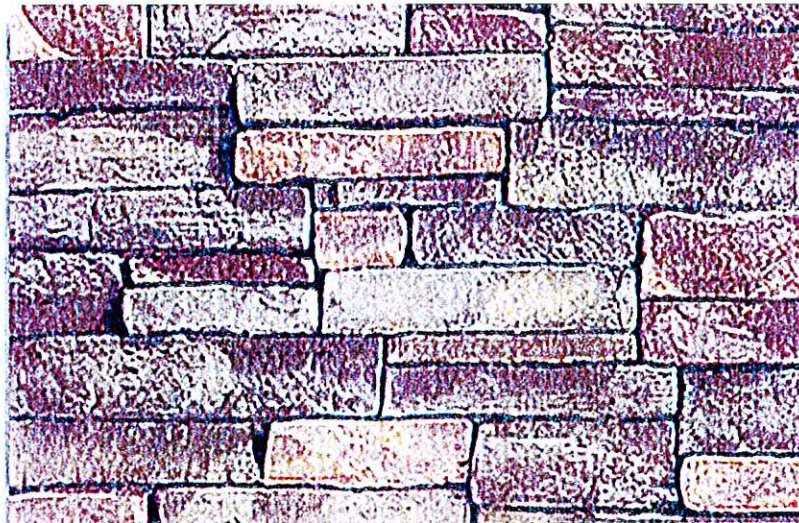
August 9, 2004



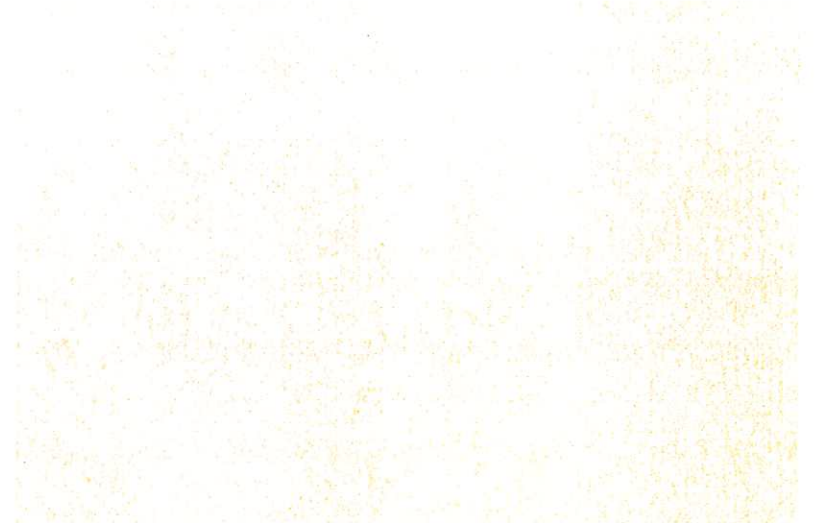
Coffee Brown OR Dark Brown QC229



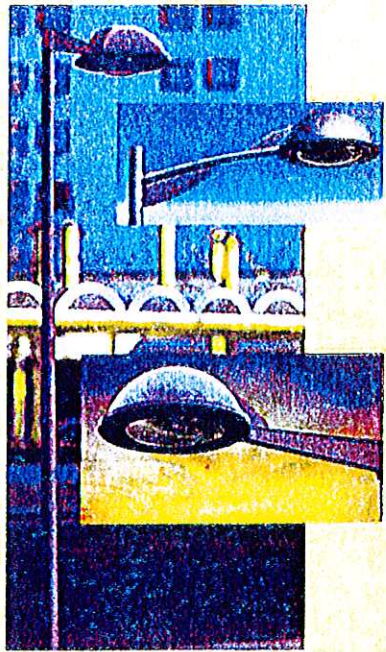
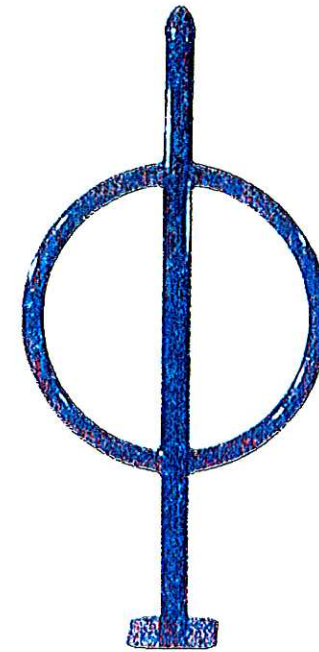
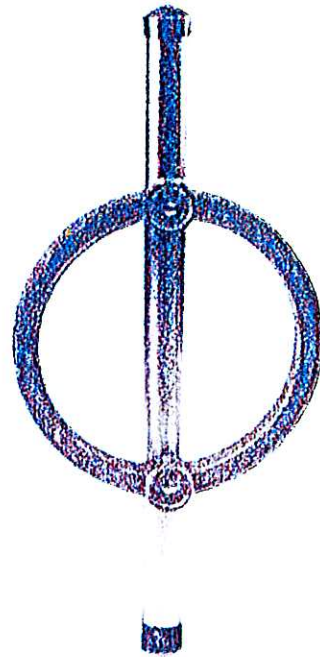
Natural Cedar, Sikkens Teak #085



Eldorado Stone, Mountain Ledge - Mesa Verde



Acrylic to match
Pratt & Lambert Toasted Wheat 2044



WESTMOUNT COMMERCIAL DEVELOPMENT - OKOTOKS, AB

FURNISHINGS & FIXTURES

Project No.: C02312.01

COHOS EVAM
ARCHITECTS
1000 10TH AVENUE
EDMONTON, ALBERTA T6C 0A8

August 9, 2004

SITE AREAS:	
SITE "A"	(+/-) 10.18 acres
SITE "B"	(+/-) 2.55 acres
SITE "C"	(+/-) 2.86 acres
SITE "D"	(+/-) 2.56 acres
SITE "E"	(+/-) 5.73 acres

SITE INFORMATION:	
MUNICIPAL ADDRESS:	Westland Street and Southridge Drive, Okotoks AB
LEGAL ADDRESS:	---
LAND USE:	COMMERCIAL GATEWAY
TOTAL SITE AREA :	±23.9 Acres ±96 600 sm ±1 039 770 sf

THIS PLAN SHOWS THE PROPOSED DEVELOPMENT CONCEPT FOR THE ENTIRE SITE. DEVELOPMENT WITHIN EACH SUBDIVIDED LOT MAY VARY, BUT WILL BE SUBJECT TO THE CONCEPTS AND GUIDELINES DEVELOPED IN THIS PLAN, AND SUBJECT TO A DEVELOPMENT PERMIT APPLICATION

WESTMOUNT COMMERCIAL DEVELOPMENT - OKOTOKS, AB

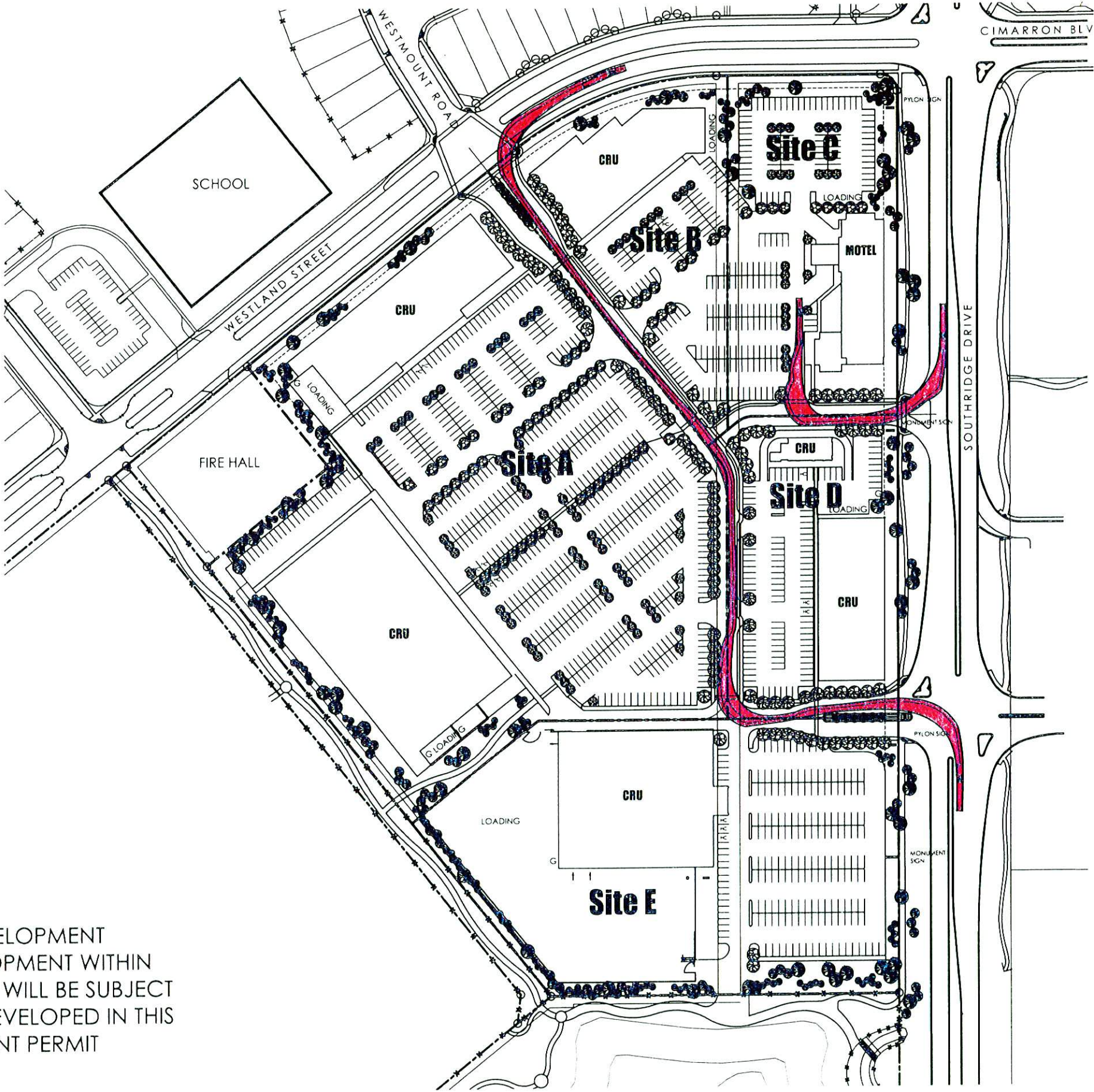
CONCEPT PLAN - TRUCK TURNING MOVEMENT

Project No.: C02312.01 SCALE 1 : 2000



COHOS EVAMY
 PROJECT
 CIVIL
 230 AC - 1 AVENUE SW CALGARY ALBERTA T2A 8D
 Tel: 403 243 1500 Fax: 403 274 0004

August 9, 2004



WESTLAND STREET

LOT 5, BLOCK 1,
REG'D PLAN No. 041 1327

COMMERCIAL
GATEWAY COMMERCIAL

LOT 6
AREA = 4.11 ac
(10.16 ac)

LOT 8
AREA = 1.08 ac
(2.88 ac)

LOT 9
AREA = 1.03 ac
(2.88 ac)

LOT 10
AREA = 2.31 ac
(5.73 ac)

BLOCK 1

Survey measurements and area calculations are provided for various lots and blocks. For example, Lot 5 has an area of 4.11 ac (10.16 ac). Lot 6 has an area of 1.08 ac (2.88 ac). Lot 8 has an area of 1.03 ac (2.88 ac). Lot 9 has an area of 2.31 ac (5.73 ac). Lot 10 has an area of 2.31 ac (5.73 ac). The map also shows various survey measurements, including bearings and distances, and area calculations for different lots and blocks.

August 9, 2004